

# Department of Planning and Development

## Building and Inspections

inspection@cityoflacrosse.org 608-789-7530

## MULTI-FAMILY RESIDENTIAL

### Plan Requirements:

All plans shall be drawn to scale of not less than one-quarter (1/4) inch per foot. Drawings must be to scale and accurately figured. Drawings that do not show all necessary details will not be approved.

Minimum set of plans shall consist of:

- Floor plans, elevations, cross-sections, and all construction details.
- Structural calculations for trusses, I joist, complex microlam members when required.

**NOTE:** Pencil drawings are not acceptable, photo copy drawings are acceptable.

### Data Requirements:

- Two complete sets of plans to scale. A set electronic and paper or both sets electronic.
- One heat loss calculation with furnace model, serial number and BTU's indicated
- Truss calculations at time of framing if required
- Erosion control application
- Elevation Certificate if required
- Lot survey or accurate site plan showing proposed building location

If you would like to submit the permit application electronically, please upload the forms and email them to [inspection@cityoflacrosse.org](mailto:inspection@cityoflacrosse.org)

### How long does it take to get my permit?

Permits are reviewed on a first come, first serve basis. Inspectors are allowed 10 business days to complete. They may take longer depending on circumstances. For an additional cost you can EXPEDITE your application, moving it to the forefront

### How much does a permit cost?

Building Permit Fees can be found on the City website at this link [Appendix C - FEE SCHEDULE | Code of Ordinances | La Crosse, WI | Municode Library](#)

### How close to the lot-line can I build?

In most areas, you must stay 20% of the lot depth or a minimum of 15' (maximum of 30') from the rear lot line and 6' from the side lot lines and 25' from the front lot lines. CALL US TO MAKE SURE if your project is close to these parameters. SOME AREAS DO HAVE DIFFERENT SETBACK RULES. You may want to bring in your survey before you begin designing.

### Can I do my own electrical wiring?

No. Local law requires a licensed contractor to perform electrical wiring. An electrical permit is required.

### Can I do my own plumbing work?

No. Local law requires a licensed contractor to perform plumbing work. A plumbing permit is required. Contact CRM with questions.

### Can I do my own HVAC work?

Local law requires a licensed contractor to perform any gas work and a permit will be required. Contact Community Risk Mgmt with questions.

### What do I do with the card I received with the building permit?

The yellow permit card should go in a window or where it can be seen from the street

### When must I call for building inspections?

Inspections are required:

- After excavation, before placing concrete
- After foundation is formed, before placing concrete
- After foundation is built but before backfilling
- When rough carpentry is erected. You must first have plumbing rough in inspected and electrical rough in inspected and approved. THEN CALL FOR FRAMING INSPECTION. The Building Inspector cannot approve framing prior to electrical and plumbing rough inspection/approvals.
- When insulation is completely installed before dry-walling begins.
- Final inspection of plumbing, electrical, HVAC and building before occupancy.

# Department of Planning and Development

Building and Inspections

[inspection@cityoflacrosse.org](mailto:inspection@cityoflacrosse.org) 608-789-7530

## APPLICATION FOR RESIDENTIAL BUILDING PERMIT

OFFICE USE ONLY:

Application Number: \_\_\_\_\_ Date: \_\_\_\_\_ Parcel Number: \_\_\_\_\_

### OWNER INFORMATION

Name: _____			
Address of above: Street	City	State	Zip Code
Phone: _____	Cell: _____	Email: _____	

### CONTRACTOR INFORMATION

Name: _____			
Address of above: Street	City	State	Zip Code
Phone: _____	Cell: _____	Email: _____	

### PROJECT INFORMATION

Project address: _____		
Construction Cost: \$ _____	Fence Only: Height: _____ Material: _____	Description of Work (Must be filled out for review) <small>If Demolition, include use of land after demolition</small>
Project Type: Building <input type="checkbox"/> Addition <input type="checkbox"/> Sign <input type="checkbox"/> Alteration/Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Accessory <input type="checkbox"/>		

### PROPERTY INFORMATION (OFFICE USE ONLY)

Zoning	Nbr. Dwelling Units	Owner Occ <input type="checkbox"/> Rental <input type="checkbox"/>	Airport Height Yes <input type="checkbox"/> No <input type="checkbox"/>	Flood Plain Yes <input type="checkbox"/> No <input type="checkbox"/>	Fire Limits Yes <input type="checkbox"/> No <input type="checkbox"/>	Archaeological District Yes <input type="checkbox"/> No <input type="checkbox"/>	Historical Dist Yes <input type="checkbox"/> No <input type="checkbox"/>
--------	---------------------	---	--	---	---	---	---

### FEE INFORMATION (OFFICE USE ONLY)

Plan Review: \$ _____	Permit: \$ _____	Record Mtce: \$ _____	Land Use: \$ _____	Cert of Occupancy: \$ _____	Exempt: <input type="checkbox"/>	Other: \$ _____	Total: \$ _____
--------------------------	---------------------	--------------------------	-----------------------	--------------------------------	----------------------------------	--------------------	--------------------

IT IS HEREBY AGREED between the applicant, as owner, owner's agent or servant, and the City of La Crosse that for and in consideration for the premises and of the permit to construct, erect, alter, move, raze, or install and the occupancy of a building adding or property as above described, to be issued and granted by Building and Inspections of the City of La Crosse, that the work thereon will be done in accordance with the descriptions set forth in this statement, and as more fully described in the City of La Crosse and State of Wisconsin laws relating to the construction, alteration, repairs, removal and safety buildings and other structures and permanent building equipment.

_____	_____	_____
Agent/Contractor: (Print)	(Sign)	(Date)
_____ -DCQ	_____ -DC	
Expires ____/____/____	Expires ____/____/____	
_____	_____	_____
Owner: (Print)	(Sign)	(Date)

OFFICE USE ONLY		
Application Approved: _____	Inspector: _____	Date: _____

**CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS**

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

**CAUTIONARY STATEMENT TO CONTRACTORS FOR PROJECTS INVOLVING BUILDING BUILT BEFORE 1978**

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to the Wisconsin Department of Health Services' lead homepage for details of how to be in compliance.

**WETLANDS NOTICE TO PERMIT APPLICANTS**

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

**ADDITIONAL RESPONSIBILITIES FOR OWNERS OF PROJECTS DISTURBING ONE OR MORE ACRE OF SOIL**

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management standards, and will comply with those standards.

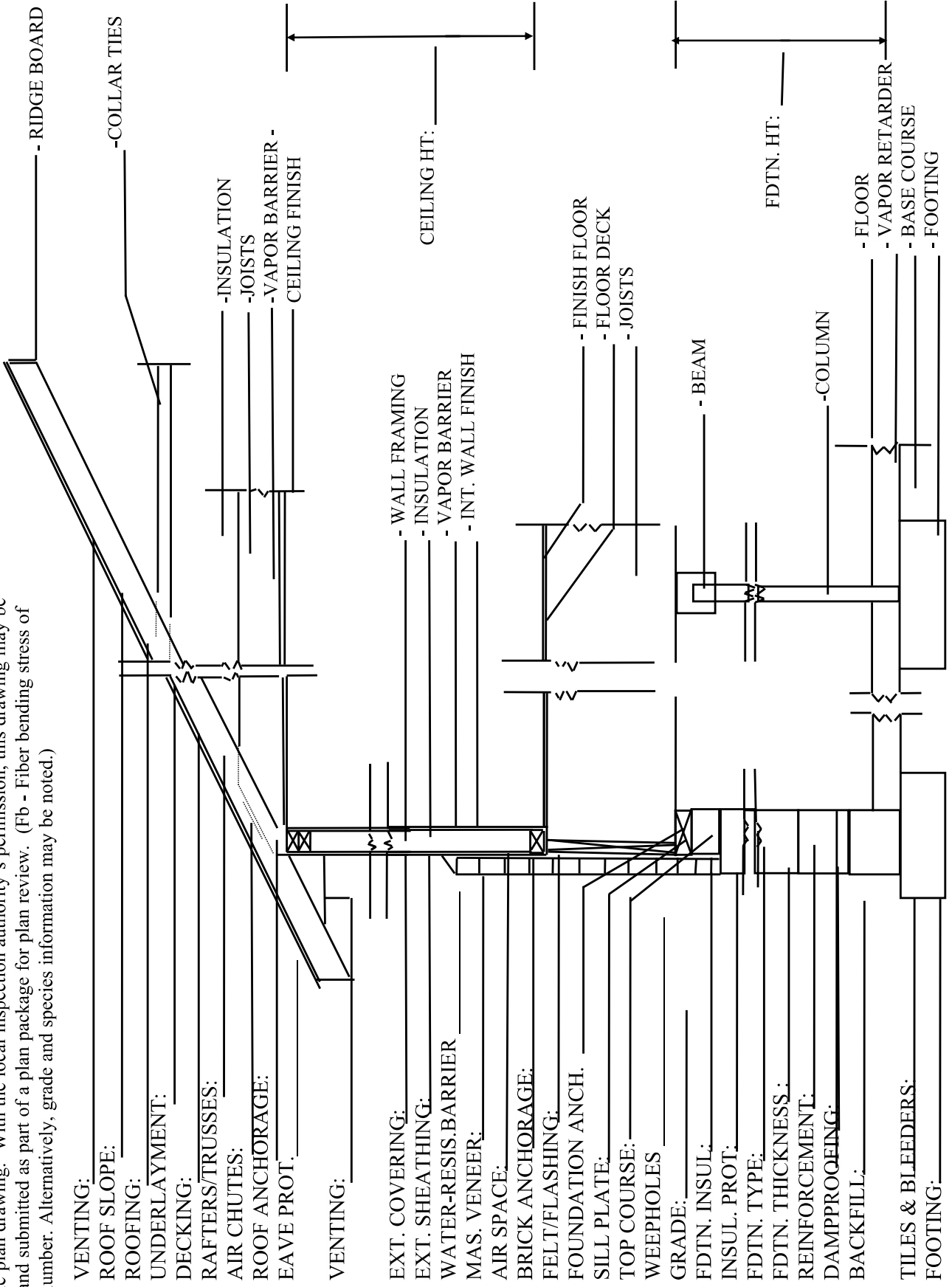
\_\_\_\_\_  
Owner: (Print Name) (Sign) (Date)

\_\_\_\_\_  
Owner: (Print Name) (Sign) (Date)

OFFICE USE ONLY		
For Permit Number:	Inspector:	Date:

# RESIDENTIAL ADDITION SECTION PLAN

**NOTE:** With proper detailing of building dimensions, material types, spans, sizes, spacing, Fb, properties, etc., and strikeouts of non-applicable details, this cross section would provide an acceptable plan drawing. With the local inspection authority's permission, this drawing may be detailed and submitted as part of a plan package for plan review. (Fb - Fiber bending stress of selected lumber. Alternatively, grade and species information may be noted.)



VENTING: \_\_\_\_\_

ROOF SLOPE: \_\_\_\_\_

ROOFING: \_\_\_\_\_

UNDERLAYMENT: \_\_\_\_\_

DECKING: \_\_\_\_\_

RAFTERS/TRUSSES: \_\_\_\_\_

AIR CHUTES: \_\_\_\_\_

ROOF ANCHORAGE: \_\_\_\_\_

EAVE PROT: \_\_\_\_\_

VENTING: \_\_\_\_\_

EXT. COVERING: \_\_\_\_\_

EXT. SHEATHING: \_\_\_\_\_

WATER-RESIS. BARRIER: \_\_\_\_\_

MAS. VENEER: \_\_\_\_\_

AIR SPACE: \_\_\_\_\_

BRICK ANCHORAGE: \_\_\_\_\_

FELT/FLASHING: \_\_\_\_\_

FOUNDATION ANCH. \_\_\_\_\_

SILL PLATE: \_\_\_\_\_

TOP COURSE: \_\_\_\_\_

WEEPHOLES \_\_\_\_\_

GRADE: \_\_\_\_\_

FDTN. INSUL: \_\_\_\_\_

INSUL. PROT: \_\_\_\_\_

FDTN. TYPE: \_\_\_\_\_

FDTN. THICKNESS: \_\_\_\_\_

REINFORCEMENT: \_\_\_\_\_

DAMP PROOFING: \_\_\_\_\_

BACKFILL: \_\_\_\_\_

TILES & BLEEDERS: \_\_\_\_\_

FOOTING: \_\_\_\_\_

\_\_\_\_\_ - RIDGE BOARD

\_\_\_\_\_ - COLLAR TIES

\_\_\_\_\_ - INSULATION

\_\_\_\_\_ - JOISTS

\_\_\_\_\_ - VAPOR BARRIER -

\_\_\_\_\_ CEILING FINISH

CEILING HT: \_\_\_\_\_

\_\_\_\_\_ - WALL FRAMING

\_\_\_\_\_ - INSULATION

\_\_\_\_\_ - VAPOR BARRIER

\_\_\_\_\_ - INT. WALL FINISH

\_\_\_\_\_ - FINISH FLOOR

\_\_\_\_\_ - FLOOR DECK

\_\_\_\_\_ - JOISTS

\_\_\_\_\_ - BEAM

FDTN. HT: \_\_\_\_\_

\_\_\_\_\_ - FLOOR

\_\_\_\_\_ - VAPOR RETARDER

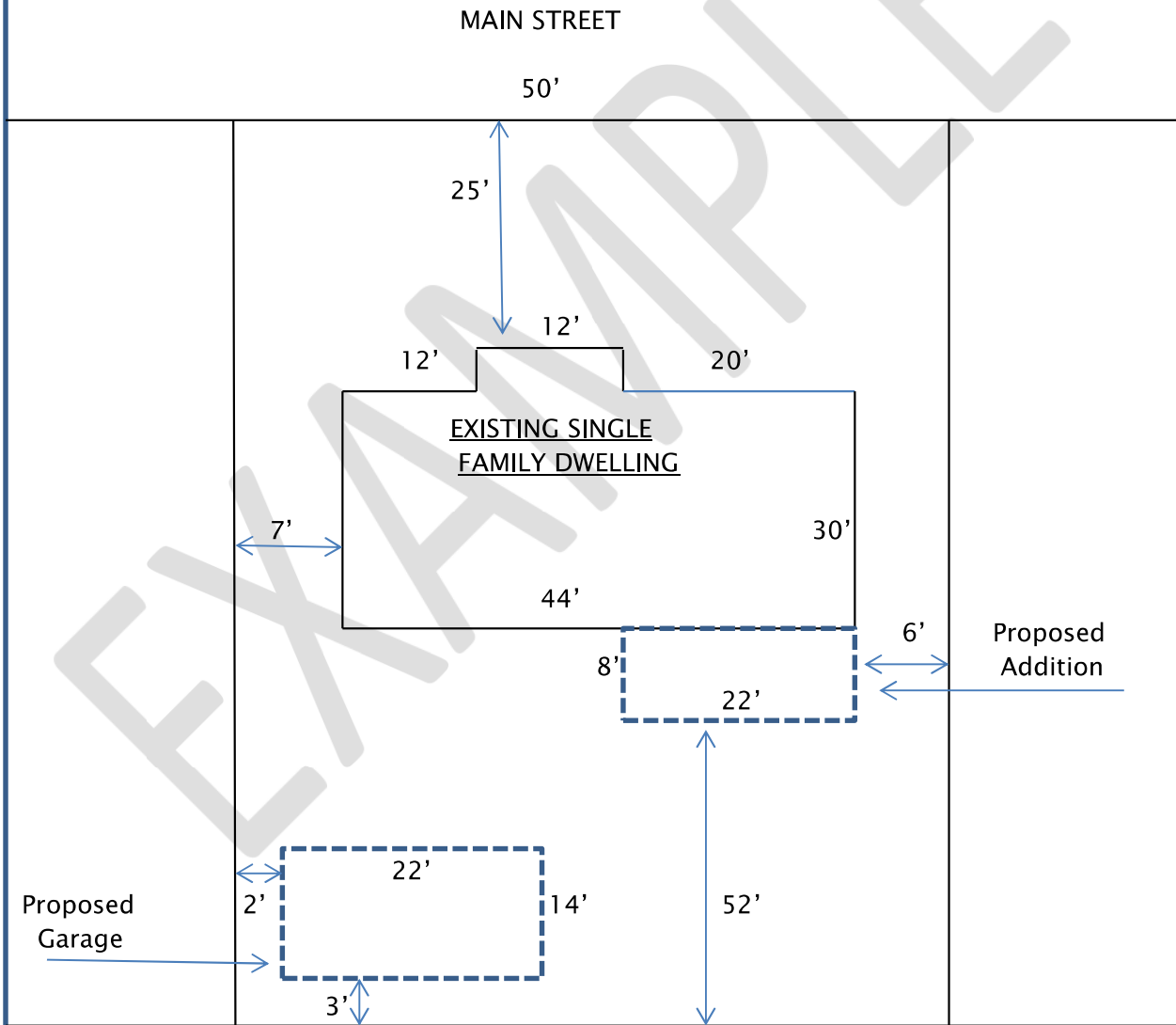
\_\_\_\_\_ - BASE COURSE

\_\_\_\_\_ - FOOTING

\_\_\_\_\_ - COLUMN

**EXAMPLE PLOT PLAN**  
**COMMUNITY RISK MANAGEMENT**  
**CITY OF LA CROSSE**  
[www.cityoflacrosse.org](http://www.cityoflacrosse.org)

This sample plot plan has been designed to assist you in preparing a similar plot plan of your own premises, when necessary to obtain a building permit, or when required by the Board of Zoning and Appeals, Board of Housing Appeals, or Board of Building Appeals. Plot plans for larger buildings shall go into more detail.



**NOTE: DRAWING IS NOT TO SCALE**